

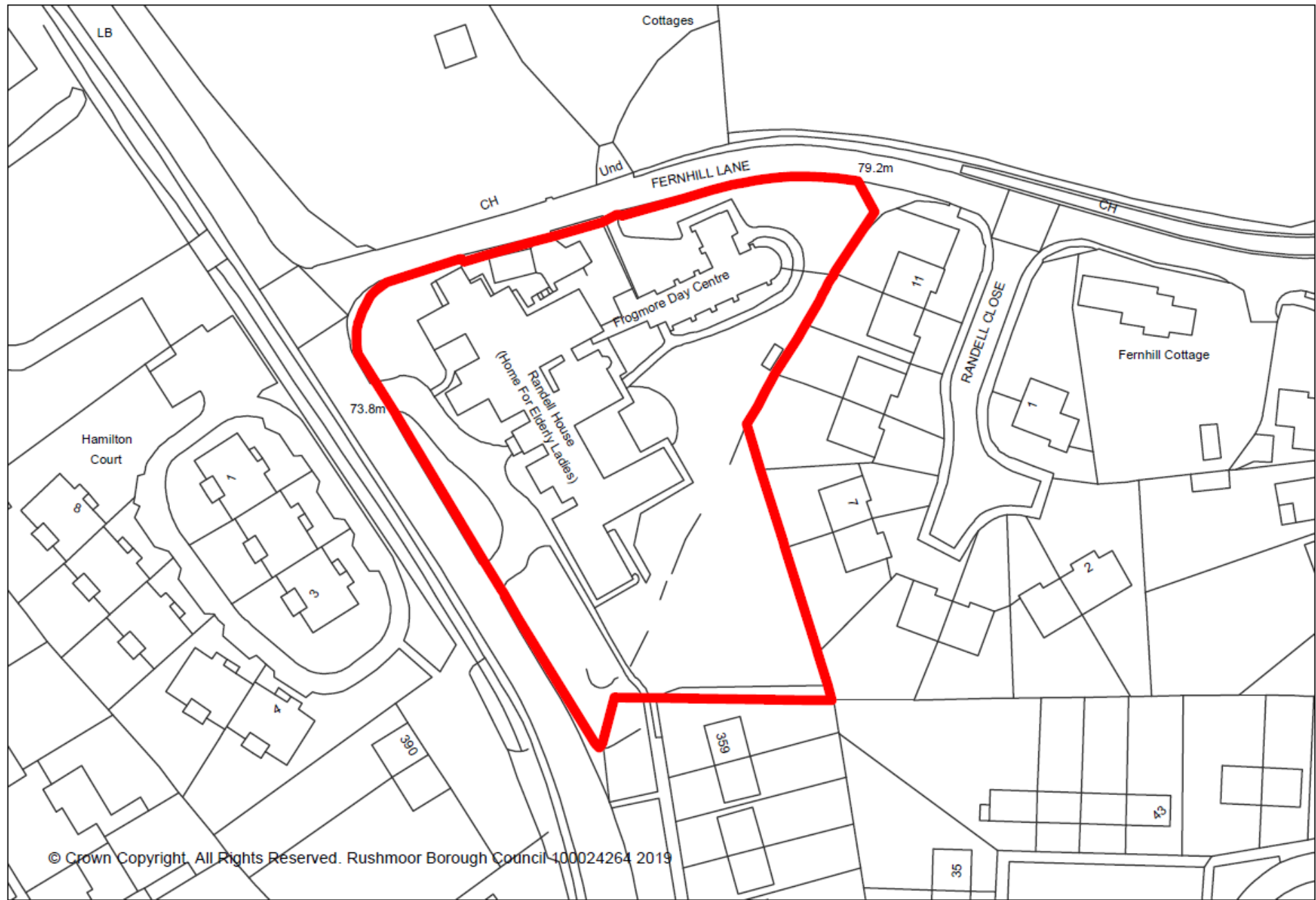
Development Management Committee

10th April 2019

Development Management Committee

Item 5 : 18/00614/FULPP

Randell House, Fernhill Road,
Blackwater



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1 Site - Proposed
1:200

<p>GRACEWELL HEALTHCARE</p>	<p>Proposed Assisted Living Units All Saints Care Village Cambridge</p>			
	Scale 1:200	Drawn	Revised	Checked
<p>Gelder and Kitchen LLP CONSTRUCTION CONSULTANTS</p>	<p>Site Plan</p>			
	<p>12-112</p>	<p>1105</p>		







P Disabled

























NOTES
 All dimensions are in millimetres unless stated otherwise.
 The drawings are to be read in conjunction with all other relevant drawings and specifications.
 The copyright of the drawings, whether for them have been approved or not, and shall be the property of the architect and shall remain the property of the architect.



Proposed North-East Elevation
 Scale - 1:100



Proposed North-West Elevation
 Scale - 1:100



- KEY:**
- Existing Building Outline
 - Previous Consent
 - Off white colour render
 - River Orange Facing Brick
 - Imitation Slate
 - Arches
 - Horizontal Weather Boarding
 - Terracotta Tile Hangings

Rev.	1/1/2018	Revisions/Updates	Rev.	2/1/2018	Revisions/Updates
Rev.	1/1/2018	Revisions/Updates	Rev.	2/1/2018	Revisions/Updates

harrisirwin
 architects & designers

Plot 10, Station Road, Rushmoor, North Hants RG4 1JG
 T: 01753 62527
 E: enquiries@harrisirwin.com
 W: www.harrisirwin.com

Project:
 Proposed Care Home
 Parked House
 Parked House
 Carriageway

Client:
 Harrold Developments

Drawing Title:
 Proposed North East and North West Elevations

PLANNING

Approved	2018	1/1/2018	1/1/2018
Drawn	2018	1/1/2018	1/1/2018

2018 1/1/2018 22 x 22 x 2018 A 3000









1078

Authorisation number: 1078

The design is based on the information provided by the client and is subject to change without notice.

Rev	Description	Date
1	Issue for tender	15/11/20
2	Issue for construction	15/11/20

harrisirwin
architects & designers

John Harris, John Harris, John Harris, BSc
10 Colindale Avenue
London NW9 1NS
www.harrisirwin.com

Project:
Proposed Care Home
Rushmoor, Reading
Reading, Berkshire

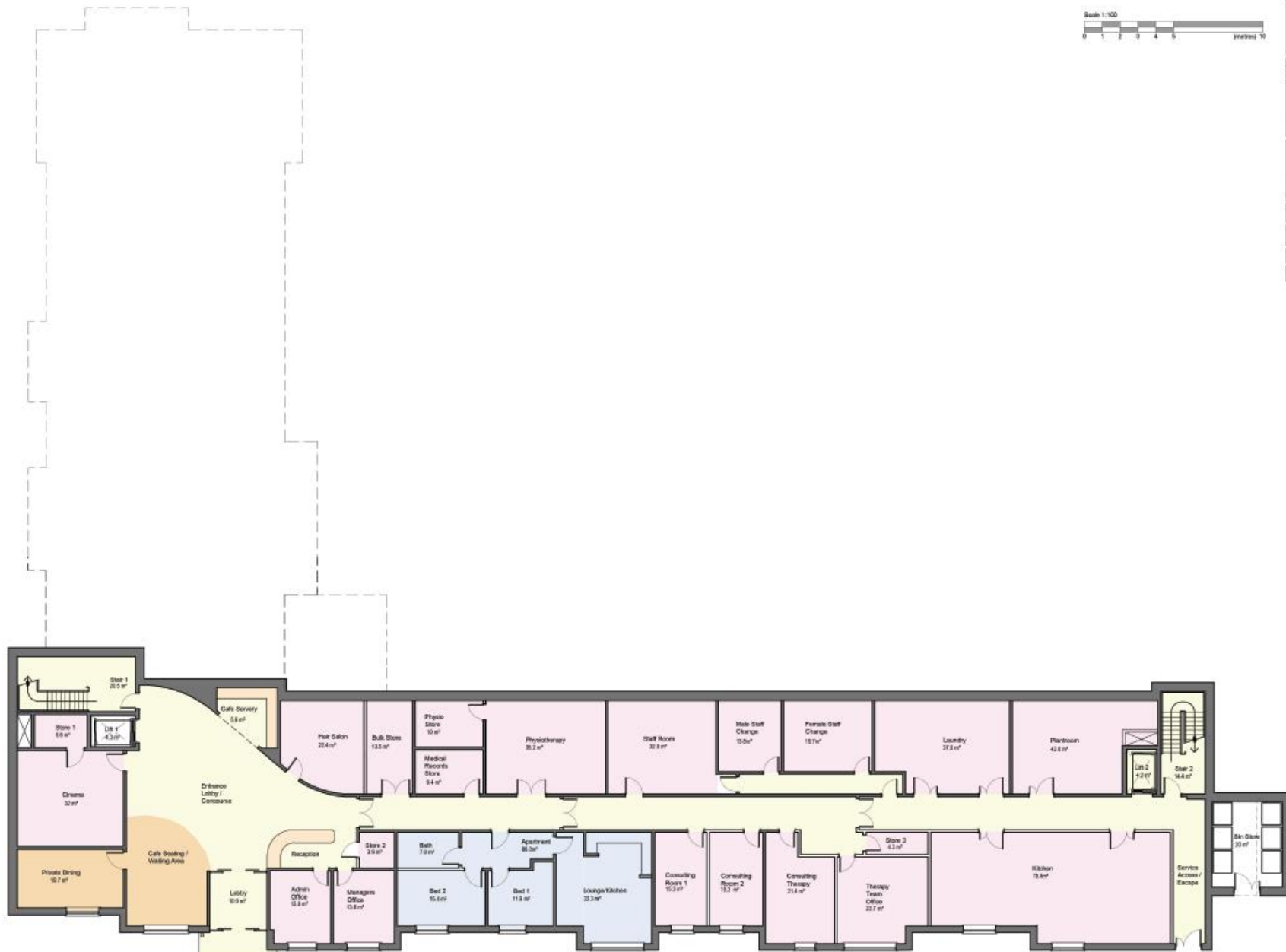
Client:
Rushmoor Borough Council

Building Title:
Proposed Social Care Plan

PLANNING

Application No.	Date	Status
200	1/10/20	OK

200-18A-02-02-01-A-0001





4153

Information on whether this document has been approved is available at www.rushmoor.gov.uk

For copies of this document and information on how to make representations, please contact the Planning Department on 01924 433100 or planning@rushmoor.gov.uk

Drawn	Checked	Approved	Date

harrisirwin
architects & designers

Unit 10, The Mill, North Street, Northampton, NN1 1AA
 T: 01603 750000
 E: info@harrisirwin.co.uk
 W: www.harrisirwin.co.uk

Project:
 Rushmoor Care Home
 North Street,
 Northampton,
 Northamptonshire

Client:
 Harrisirwin Developments

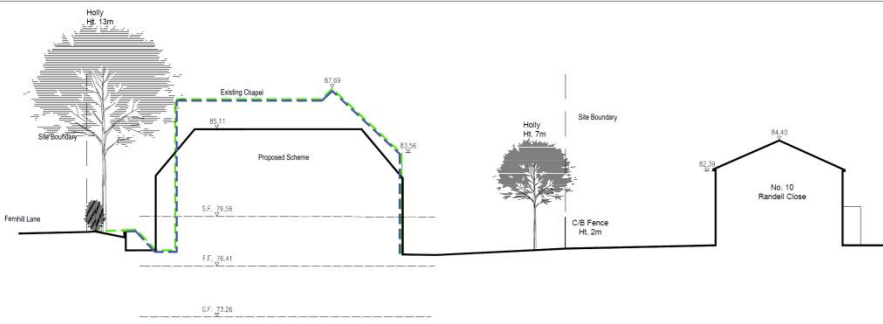
Drawing Title:
 Proposed Floor Plan

PLANNING

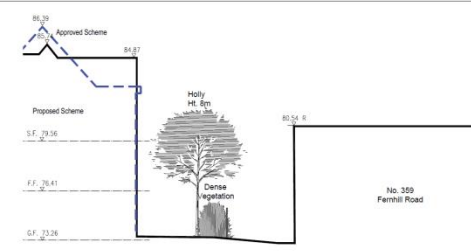
Proposed	Approved	Other
348	108	0

2024 - 2025 - 2026 - 2027 - 2028 - 2029 - 2030



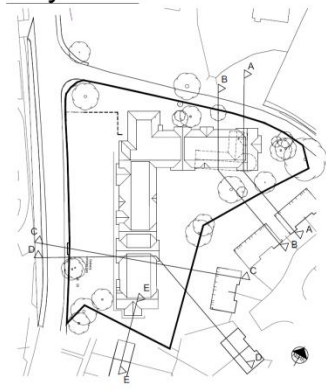


Site Section A-A

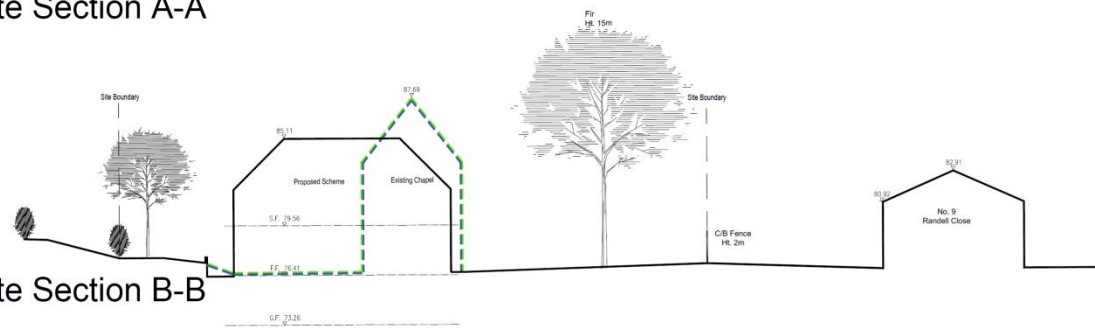


Site Section E-E

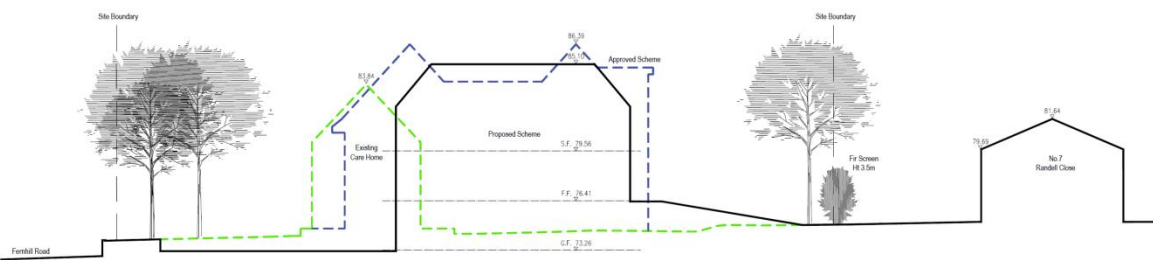
Key Plan



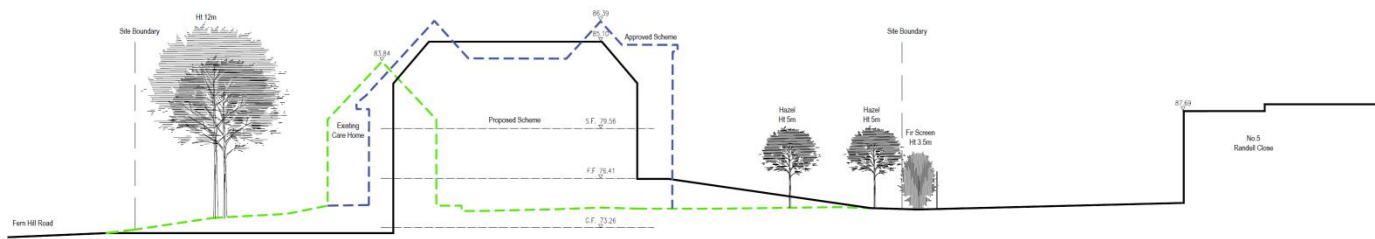
- - - Extent of Existing Buildings
- - - Extent of Approved Scheme
- Extent of Proposed Scheme



Site Section B-B



Site Section C-C



Site Section D-D

Rev	Date	Description	By	App'd

harrisirwin
architects & designers

Architects, Planners, Engineers, South Yorkshire, DL1 5BQ
 T: 0114 2525275
 E: info@harrisirwin.com
 W: www.harrisirwin.com

Project: Proposed Care Home, Randal Close, Fernhill Road, Castiberry

Client: Harlebury Developments

Drawing Title: Site Sections

For Review and Comment

W/Project Number	Scale	Sheet
2406	1:200	33

Drawn: 18.11.22, Checked: 22.11.22, Date: 22.11.22, Scale: A1, Sheet: 01/02



NOTES
 1. All works shall be carried out in accordance with the contract documents and shall be subject to the approval of the relevant authorities.
 2. The design is a preliminary design and is subject to change without notice.

FERNHILL ROAD

FERNHILL LANE

Low level boundary wall to be cut back to allow pedestrian access



NO	DATE	REVISION	BY	CHK
1	15/01/20	ISSUED FOR TENDERS	AW	AW

harrisirwin
 architects & designers
 100-102, The Old Mill, Mill Lane, Rushmoor, Reading, RG6 2JH
 T: 0118 987 1000 F: 0118 987 1001
 www.harrisirwin.co.uk

Project: Proposed New Home
 Site: Mill Lane
 Location: Rushmoor
 Client: Harrisirwin

Working File
 Proposed Site Plan

PLANNING

NO	DATE	REVISION	BY	CHK
1	15/01/20	ISSUED FOR TENDERS	AW	AW

Development Management Committee

Item 6 : 19/00048/FULPP

**Proposed Pinehurst 4 Development Site,
Pinehurst Road, Farnborough**



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Farnborough Business Park



WYCOMBE ROAD

1004

Trees
8 inch dia

1000-1010

QUINCE ROAD

1000

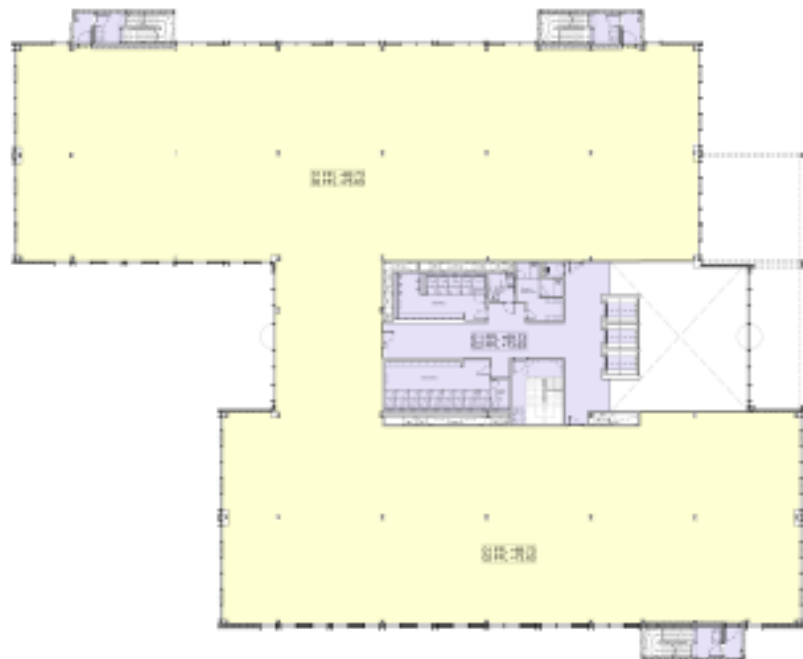


CS/096332

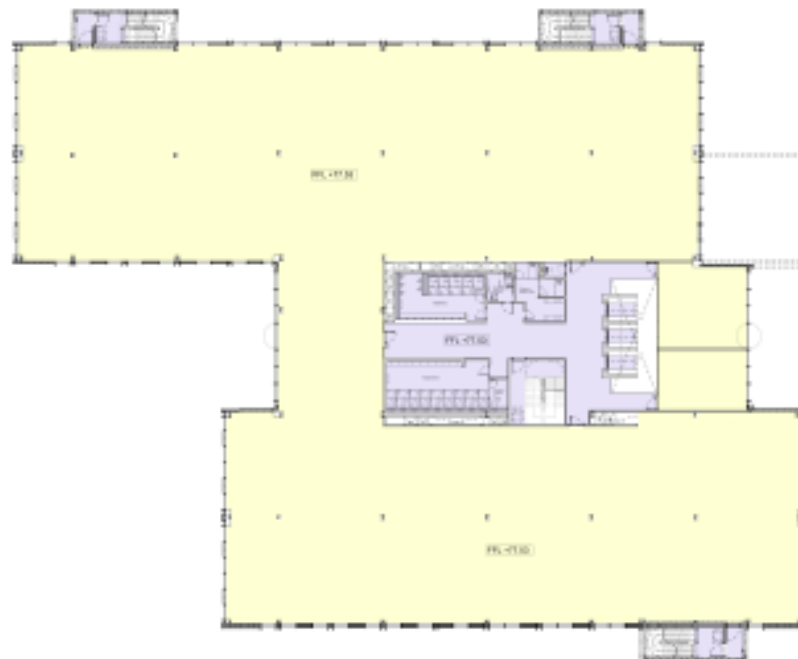
Revisions	
No.	Description

Date: 08/08/2018
 Drawn: [Name]
 Checked: [Name]
 Title: [Title]
 Project: [Project Name]





01 1st and 2nd Floor Plans
1,200 sq ft



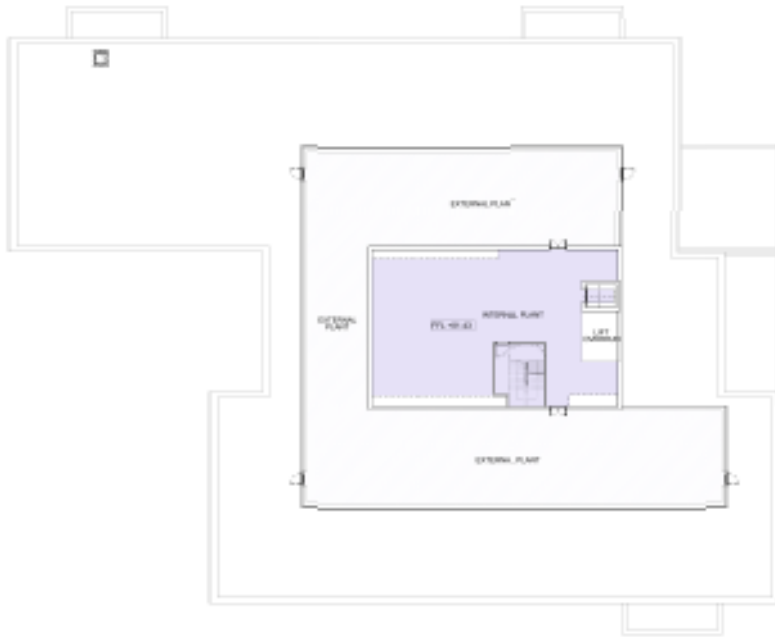
02 3rd Floor Plan
1,200 sq ft

CS/096332

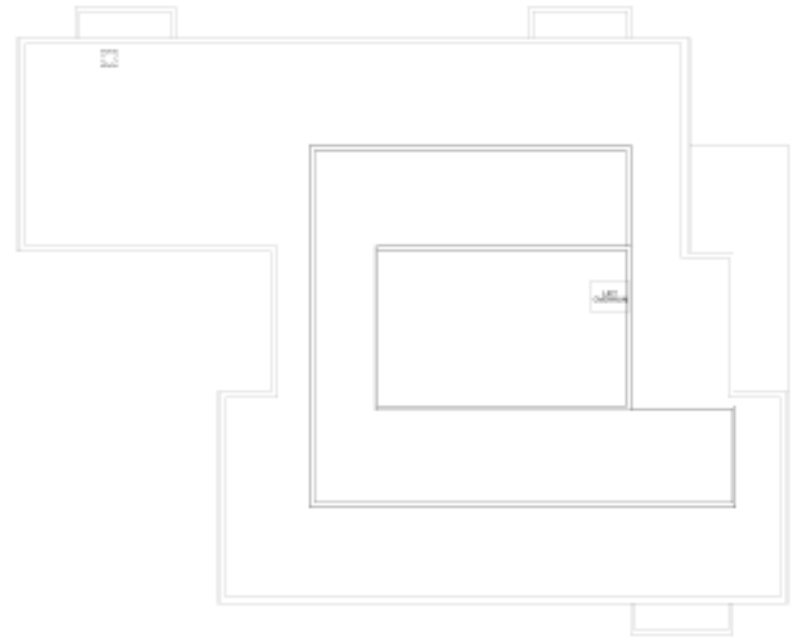


Client: FRASERS PROPERTY
 Name: BOURNEMOUTH STORE
 Site No: 096_11_P01
 Project: Phase 2, Bournemouth Business Park
 Title: Production of 1st, 2nd & 3rd Floor
 Date: 1/20/2017
 Scale: 1:500
 Drawn: [Name]
 Checked: [Name]
 Approved: [Name]





01 4th Floor Plan - Plant Room
1:200 g/f



02 5th Floor - Roof Plan
1:200 g/f

CS/096332



Revisions			
No.	Date	Description	By
1	15/01/2024	Issue for tender	ESA
2	15/01/2024	Final	ESA

Client: FMS302/PCP/PC/PC
 Date: November 2023
 Site No: 150_T1_P121

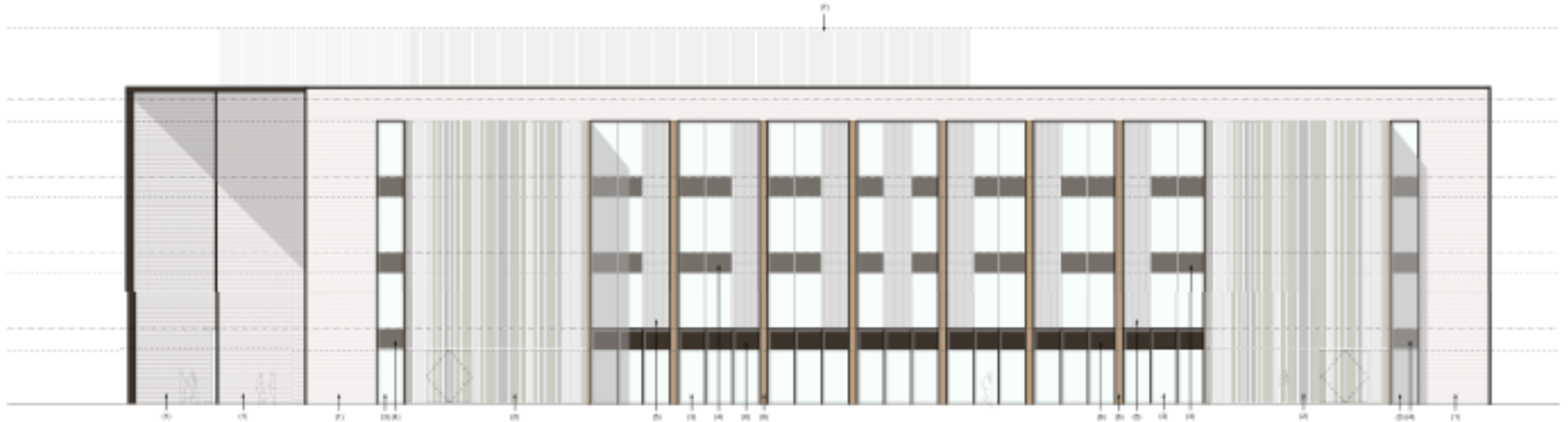
Project: Phase 3, Fenborough Sustainable
 Site: Fenborough 3 - Front and Rear
 Scale: 1:200 g/f 1

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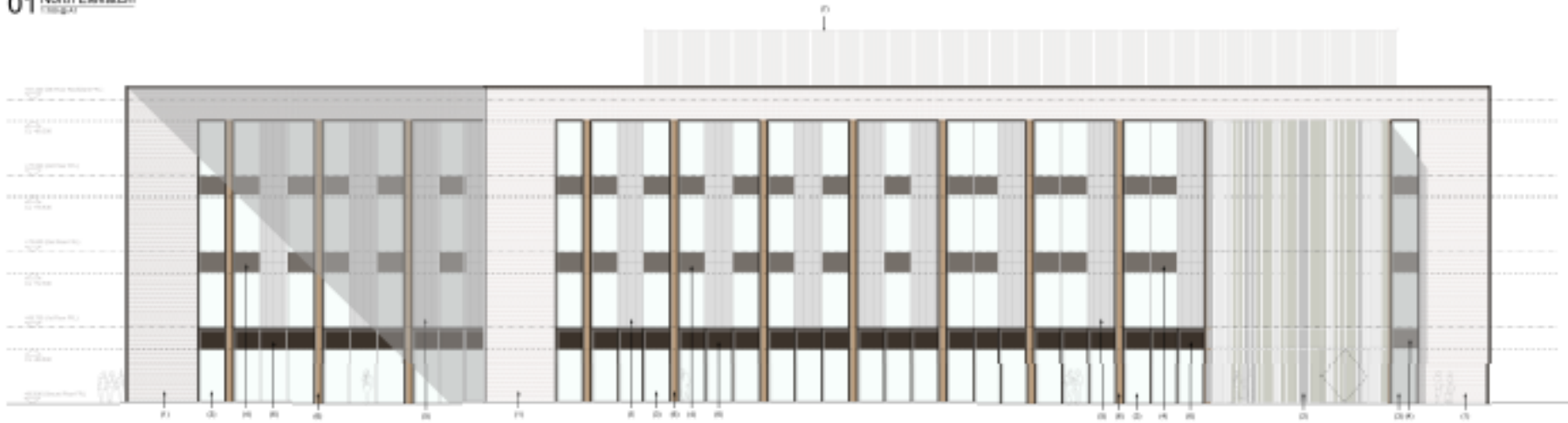




- KEY**
- 01 Brick
 - 02 Metal Panels
 - 03 Outside Walling Glazing
 - 04 Glass Screens Panels
 - 05 Fire Screened Glazing Panel
 - 06 Insulated Metal Panels
 - 07 Vertical Metal Screens
 - 08 Profiled Metal Panels



01 North Elevation
Height



02 South Elevation
Height

CS/096332



Revisions

No.	Date	Description	By	Appr.
1	10/10/11	Issue for tender		
2	10/10/11	Revised		

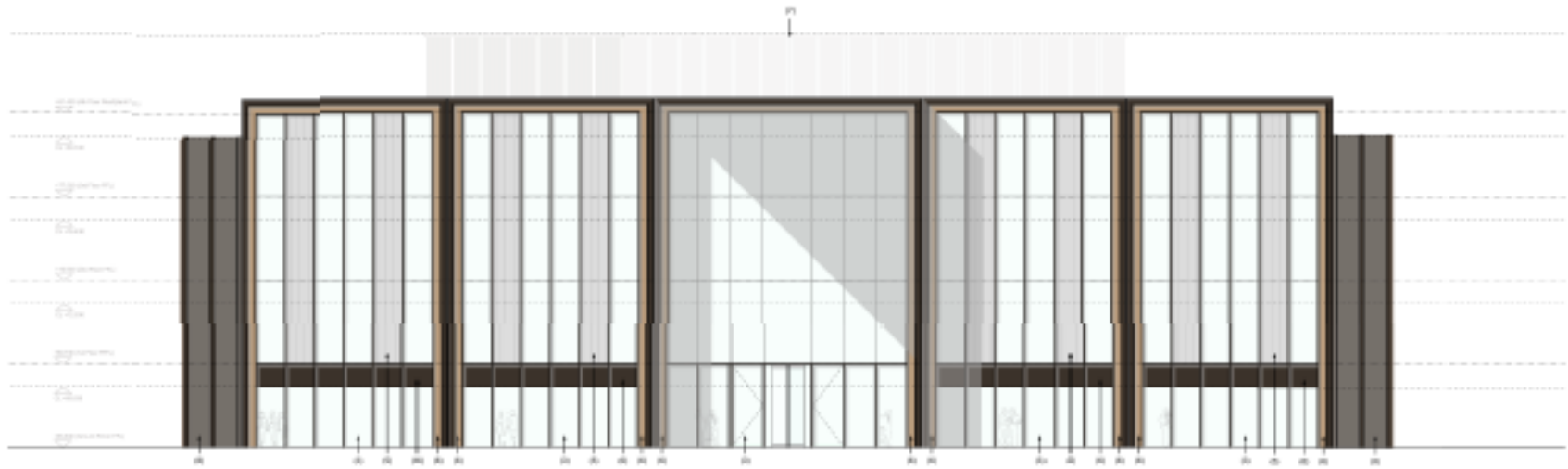
Client: Rushmoor Properties
Site: Rushmoor Road
Project: Phase 2 Rushmoor Business Park
Phase: Planning (Rushmoor)

Scale: 1:100 @ A4
Project: Phase 2 Rushmoor Business Park
Client: Rushmoor Properties

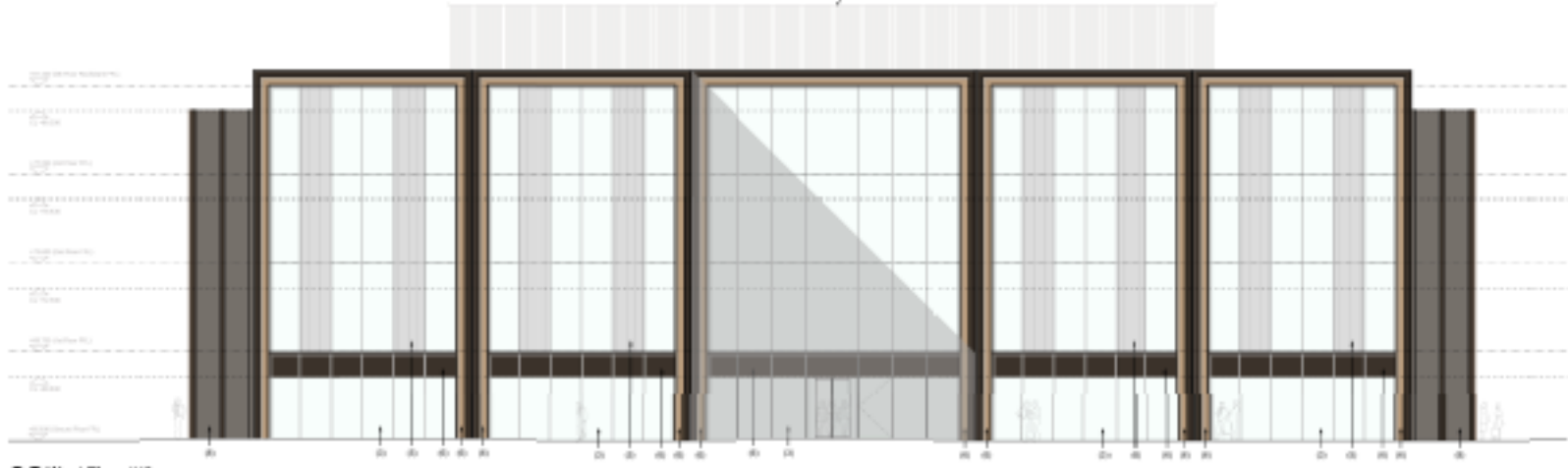
esa
 60 Greatport Street, London EC2A 3DF, UK. Telephone: 020 7560 8888. www.esa.co.uk



- KEY**
- Brick
 - Metal Panels
 - Window Walling (Glazing)
 - Green Screened Panels
 - Brick Cladding / Full Cladding Panel
 - Insulated Metal Panels
 - Horizontal Metal Louvers
 - Project Metal Panels



01 East Elevation
1/100



02 West Elevation
1/100

CS/096332

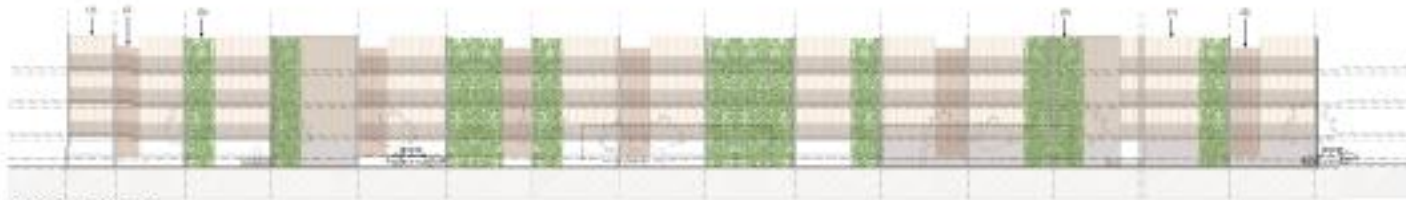


Revisions

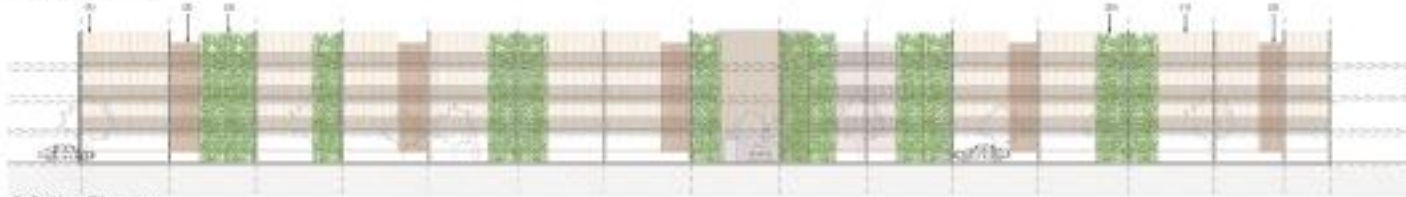
No.	Date	Description	By	App.
1	10/10/2018	ISSUED FOR PERMIT		
2	10/10/2018	ISSUED FOR PERMIT		

Client: RUSHMOOR BOROUGH COUNCIL
 Date: November 2018
 Drawn: ESD, TM, PLJ
 Project: Phase 2, Fenborough Business Park
 Title: Technical N - Elevations (02/18)
 Scale: 1:100 (A1)
 65 Station Street London EC2P 2EJ Telephone: 020 7080 1880 www.esa.co.uk

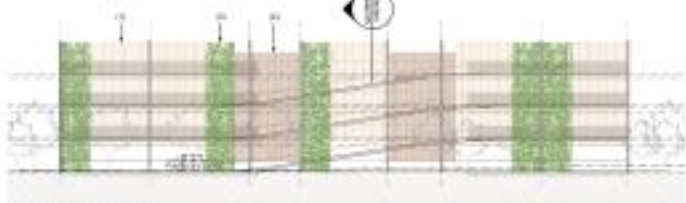




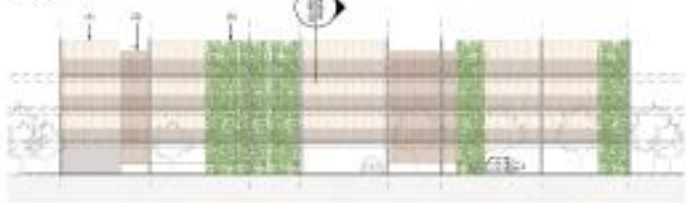
01 East Elevation
1/20 @ A1



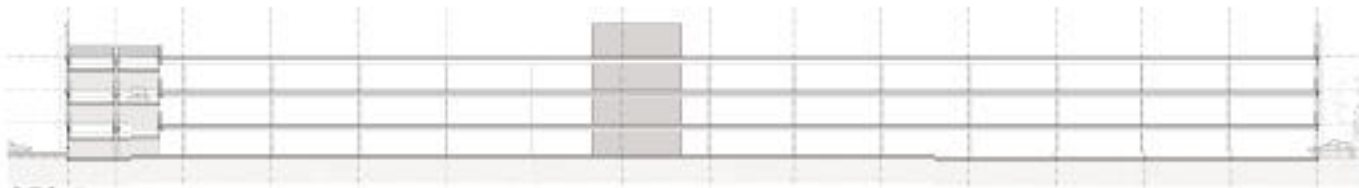
02 West Elevation
1/20 @ A1



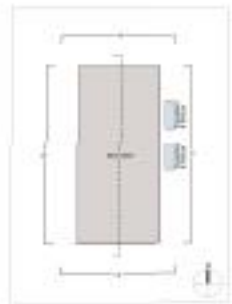
03 South Elevation
1/20 @ A1



04 North Elevation
1/20 @ A1



05 Section
1/20 @ A1



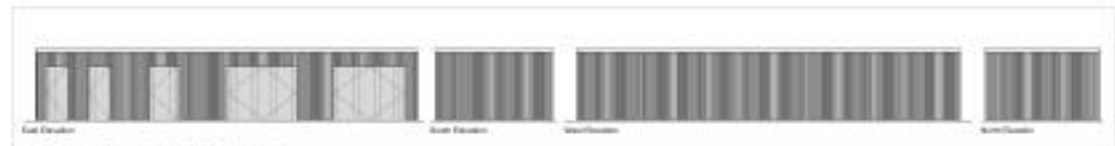
KEY
 (1) Timber frame with vertical timber slats
 (2) Vertical metal frame
 (3) Cladding panel, handles (not shown)



06 Substation and Refuse - Typical Plan
1/20 @ A1



07 Substation and Refuse - Section
1/20 @ A1



08 Substation and Refuse Elevations
1/20 @ A1



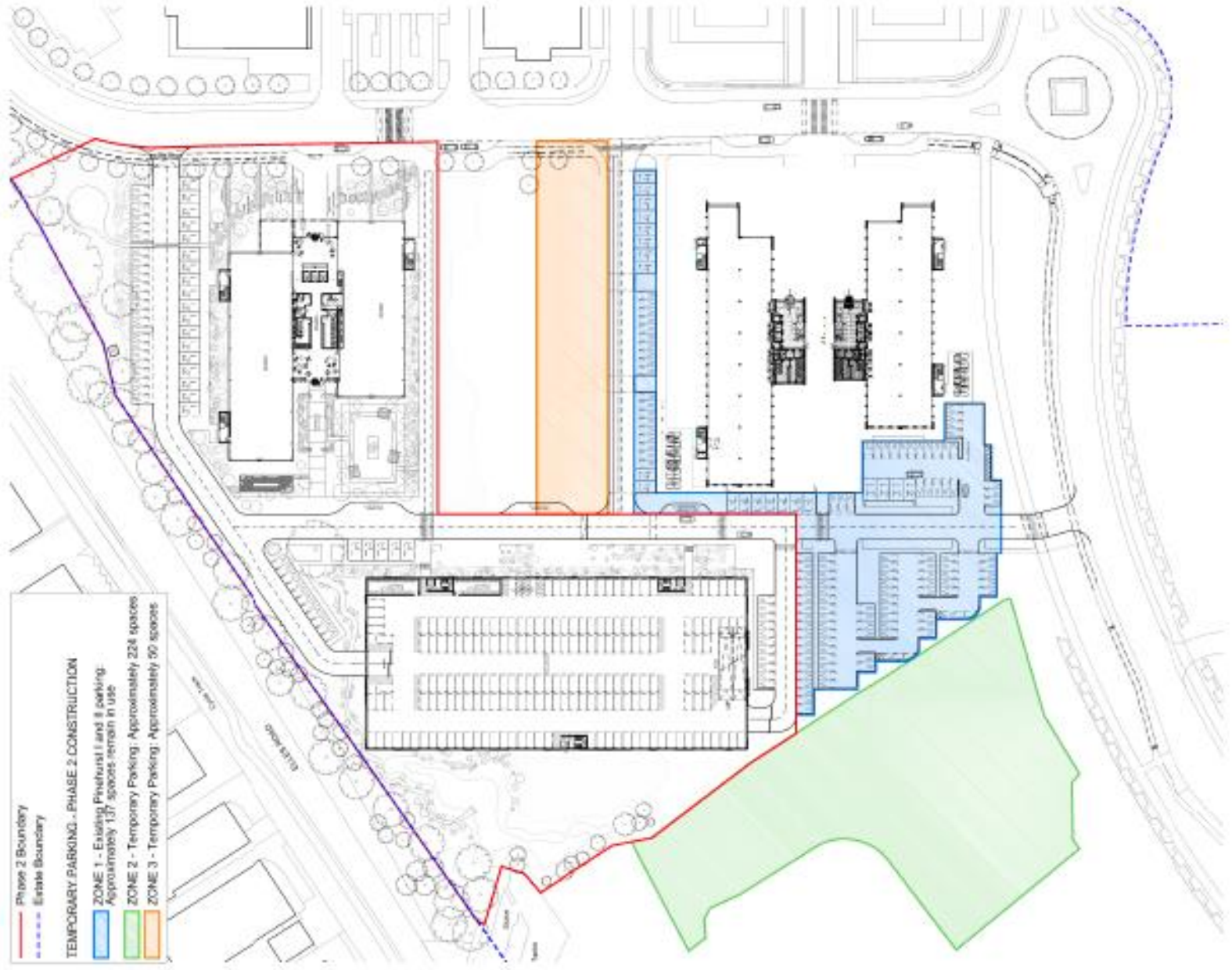
09 Substation and Refuse - Completed Phase 1
1/20

CS/096332

REVISIONS	
1	Issue for tender
2	Final design
3	Final design
4	Final design
5	Final design
6	Final design
7	Final design
8	Final design
9	Final design
10	Final design

Date: 09/09/2023
 Drawn: [Name]
 Checked: [Name]
 Project: [Name]
 Client: [Name]
 Location: [Name]
 Scale: 1:50
 Date: 09/09/2023
 Drawn: [Name]
 Checked: [Name]
 Project: [Name]
 Client: [Name]
 Location: [Name]
 Scale: 1:50





- Phase 2 Boundary
 - Estate Boundary
- TEMPORARY PARKING - PHASE 2 CONSTRUCTION**
- ZONE 1 - Existing Pavement and parking - Approximately 137 spaces remain in use
 - ZONE 2 - Temporary Parking - Approximately 224 spaces
 - ZONE 3 - Temporary Parking - Approximately 50 spaces

Client FRASERS PROPERTY
 Date March 2019
 Draw No. SK_35

Project Phase 2, Farnborough Business Park
 Title Phase 2 - Temporary Parking
 Scale 1:1000@A3

75 Wells Street London W1T 3QH Telephone: 020 7560 5895 www.esa-td.com



CS/096332









Public Parking
Pay by phone or app
www.rushmoor.gov.uk
01235 444444
P



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Farnborough Business Park

Development Management Committee

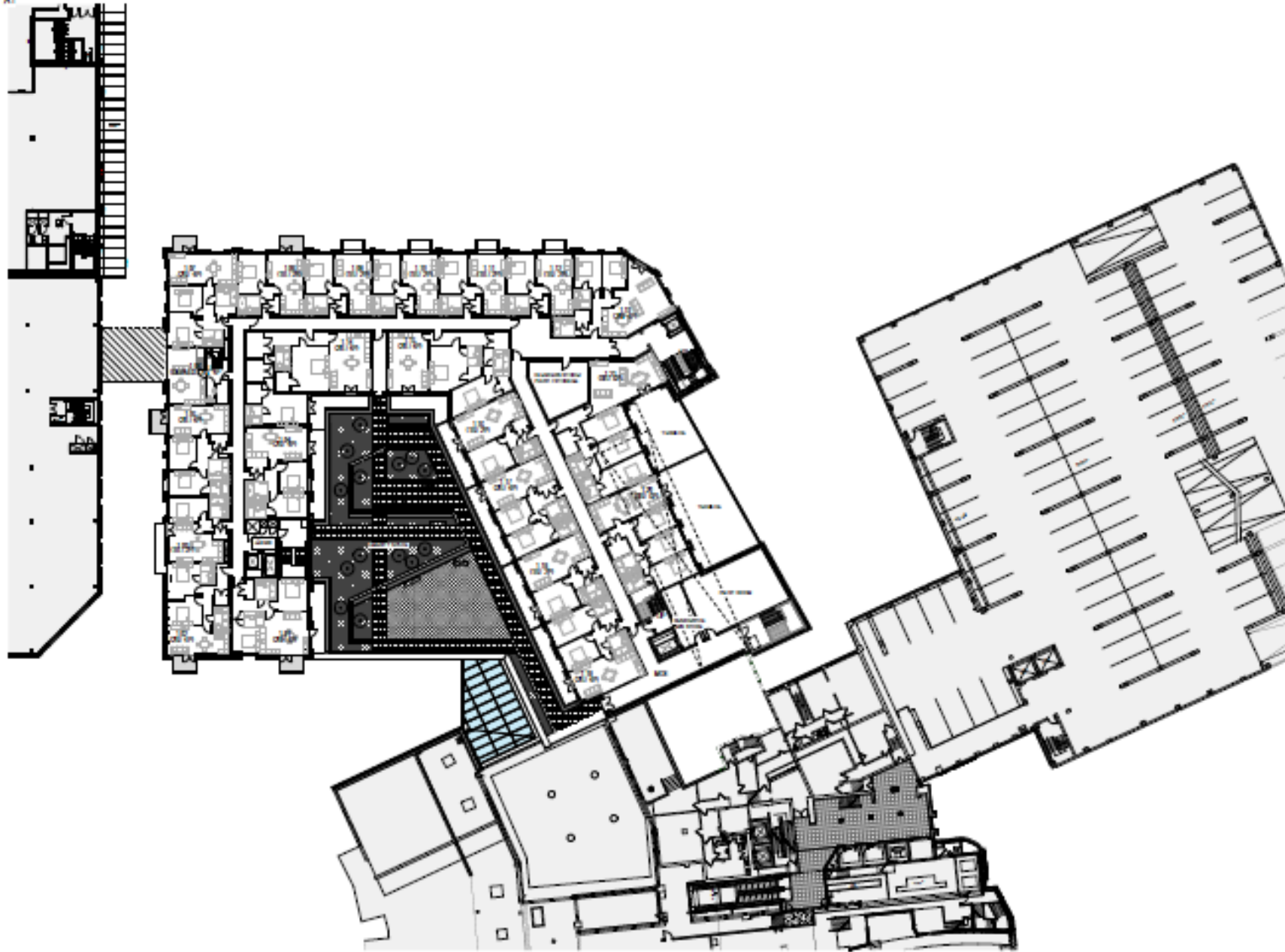
Item 7 : 19/00103/FULPP

Block 3 Queensmead, Farnborough



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See Environmental Statement
Appendix 10 (Page 1 of 1)
2018.01.01



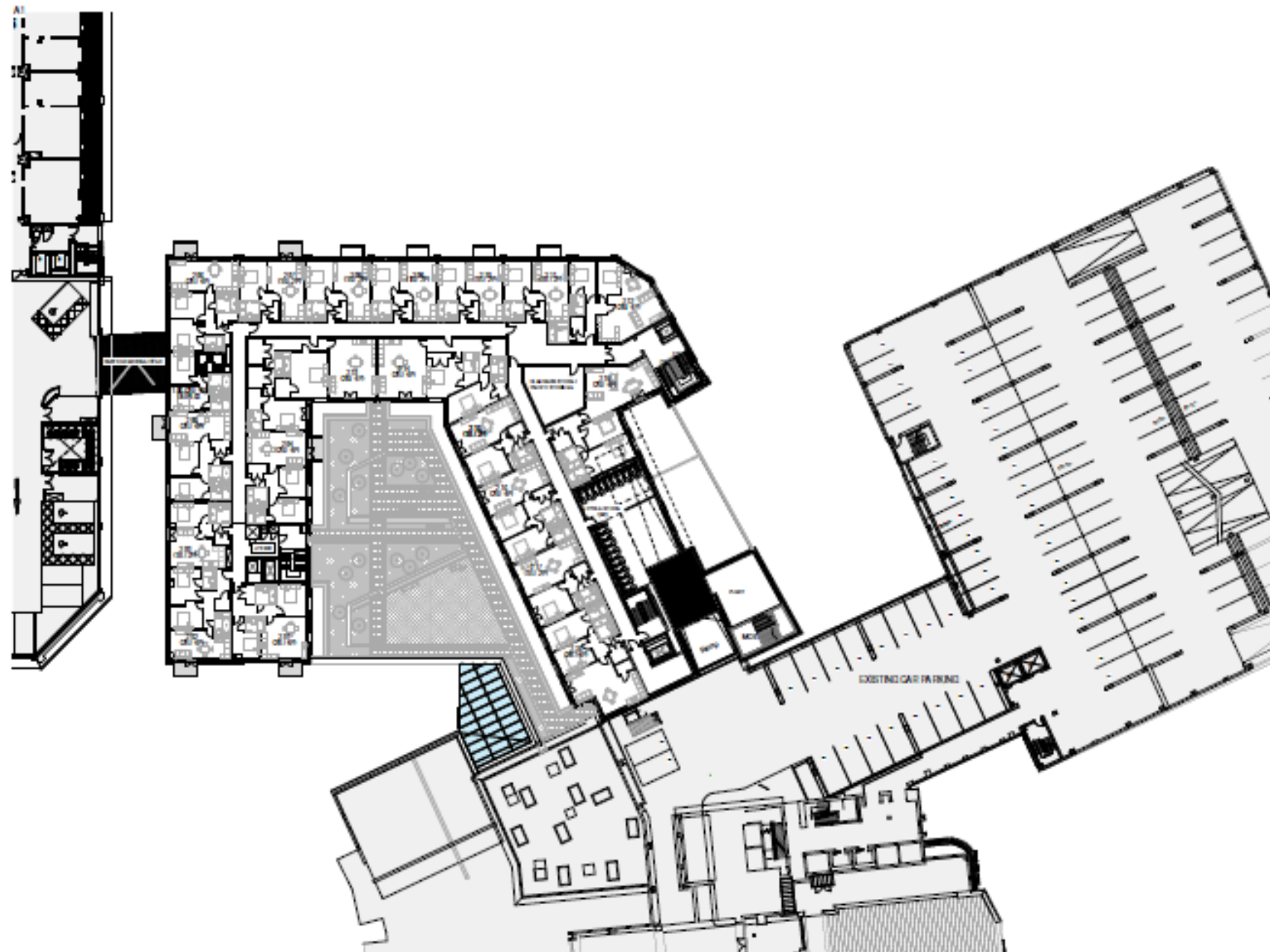
FOR DETERMINATION



FARNBOROUGH TOWN CENTRE BLOCK 3

DATE	DESCRIPTION	BY	CHECKED

See
Landscape/Architectural/Interior
Drawings



FOR DETERMINATION



FARNBOROUGH TOWN CENTRE BLOCK 3

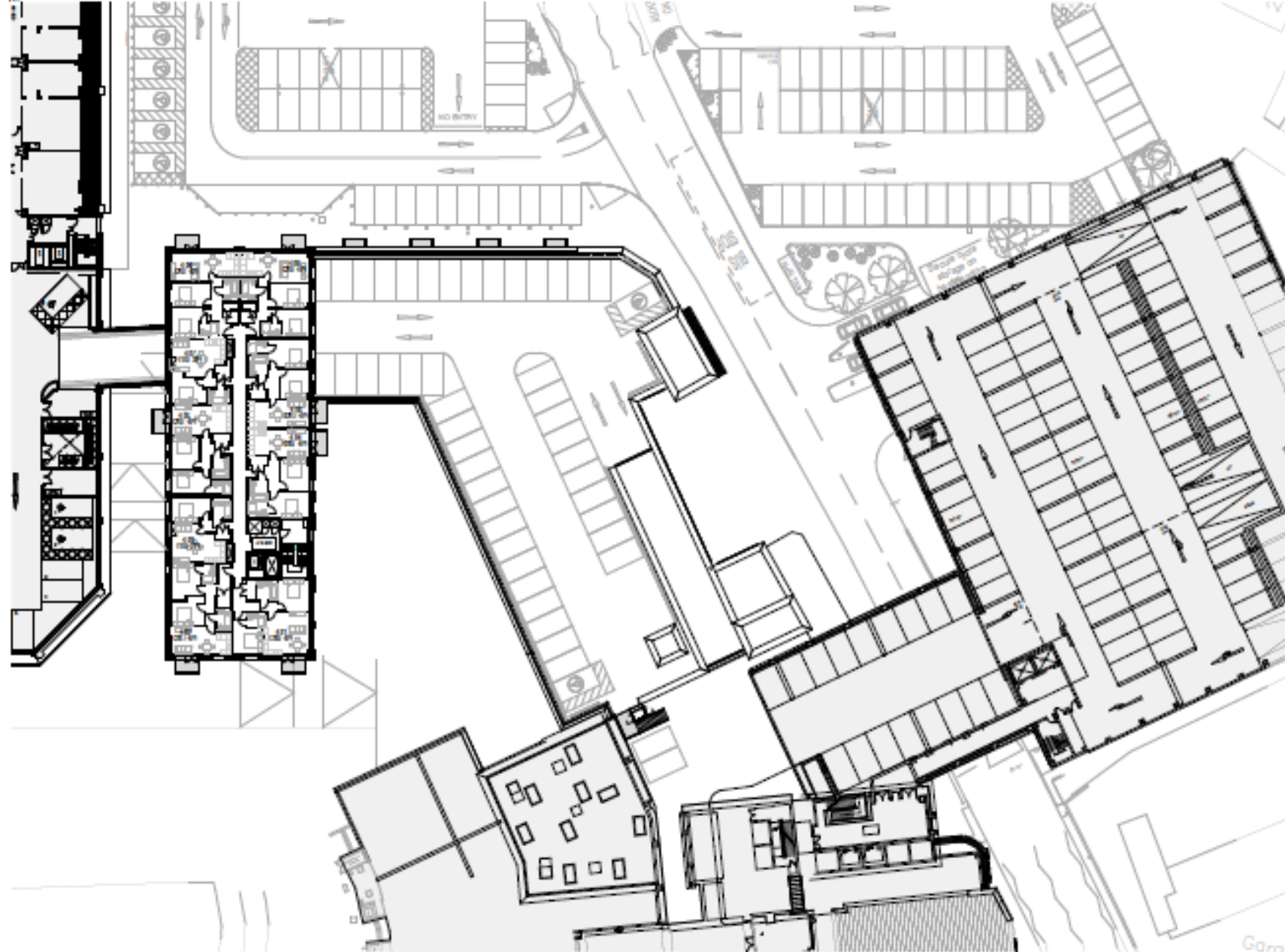
DATE	10/10/2023	PROJECT NO.	10000 / P-000 / P1
SCALE	1:1000	CLIENT	RUSHMOOR BOROUGH COUNCIL
DRAWN BY	LTONS+SLEEPMAN+HOWE	DESIGNED BY	LTONS+SLEEPMAN+HOWE
CHECKED BY	LTONS+SLEEPMAN+HOWE	APPROVED BY	LTONS+SLEEPMAN+HOWE



FOR DETERMINATION

FARNBOROUGH TOWN CENTRE BLOCK 3

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	11/11/2018	[Signature]	[Signature]
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			



FOR DETERMINATION

FARNBOROUGH TOWN CENTRE BLOCK 3



FIFTH FLOOR PLAN
1 : 200



SIXTH FLOOR PLAN
1 : 200

FOR DETERMINATION





SEVENTH FLOOR PLAN
 1:200



EIGHTH FLOOR PLAN
 1:200

FOR DETERMINATION





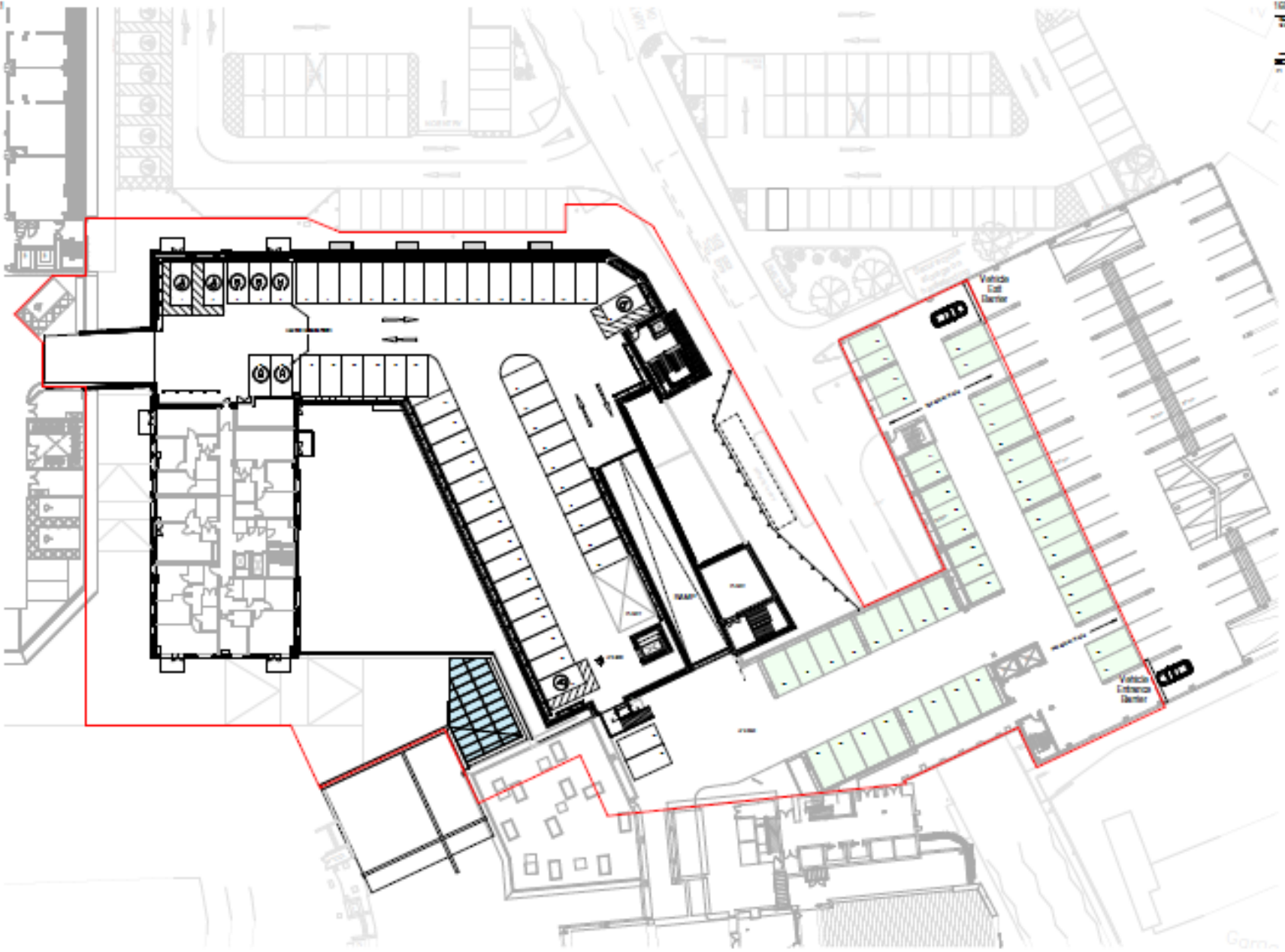
NINTH FLOOR PLAN
1:200



TENTH FLOOR PLAN
1:200

FOR DETERMINATION





FOR DETERMINATION

— Proposed Development



FARNBOROUGH TOWN CENTRE BLOCK 3

DATE	NO.	DESCRIPTION	BY	CHECKED
20/01/2024	1	ISSUED FOR PERMIT APPLICATION
15/01/2024	0	ISSUED FOR PERMIT APPLICATION



- Material Key**
- 1 Red brick (main)
 - 2 Red brick (top)
 - 3 Red brick (top) (horizontal lines)
 - 4 Red brick (top) (vertical lines)
 - 5 Lower panel (red brick) (horizontal lines)
 - 6 Red brick (top) (horizontal lines)
 - 7 Red brick (top) (vertical lines)
 - 8 Red brick (top) (horizontal lines)
 - 9 Red brick (top) (vertical lines)
 - 10 Red brick (top) (horizontal lines)
 - 11 Red brick (top) (vertical lines)
 - 12 Red brick (top) (horizontal lines)
 - 13 Red brick (top) (vertical lines)
 - 14 Red brick (top) (horizontal lines)
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 - 25 Red brick (top) (vertical lines)
 - 26 Red brick (top) (horizontal lines)
 - 27 Red brick (top) (vertical lines)
 - 28 Red brick (top) (horizontal lines)
 - 29 Red brick (top) (vertical lines)
 - 30 Red brick (top) (horizontal lines)
 - 31 Red brick (top) (vertical lines)
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 - 46 Red brick (top) (horizontal lines)
 - 47 Red brick (top) (vertical lines)
 - 48 Red brick (top) (horizontal lines)
 - 49 Red brick (top) (vertical lines)
 - 50 Red brick (top) (horizontal lines)

FARNBOROUGH TOWN CENTRE BLOCK 3





Material Key

- 1 Blue ceramic roof tiles
- 2 Brick red, weather
- 3 Yellow brick, weather
- 4 Blue brick, weather
- 5 Light grey brick, weather
- 6 Red brick, weather
- 7 Dark grey brick, weather
- 8 White brick, weather
- 9 Dark grey brick, weather
- 10 White brick, weather
- 11 Dark grey brick, weather
- 12 White brick, weather
- 13 Dark grey brick, weather
- 14 White brick, weather
- 15 Dark grey brick, weather
- 16 White brick, weather
- 17 Dark grey brick, weather
- 18 White brick, weather
- 19 Dark grey brick, weather
- 20 White brick, weather
- 21 Dark grey brick, weather
- 22 White brick, weather
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- 24 White brick, weather
- 25 Dark grey brick, weather
- 26 White brick, weather
- 27 Dark grey brick, weather
- 28 White brick, weather
- 29 Dark grey brick, weather
- 30 White brick, weather
- 31 Dark grey brick, weather
- 32 White brick, weather

DATE: 10/10/2023



FOR DETERMINATION

FARNBOROUGH TOWN CENTRE BLOCK 3

DATE: 10/10/2023	BY: [Signature]	FOR: [Signature]	DATE: 10/10/2023
DRAWN BY: [Signature]		CHECKED BY: [Signature]	
DATE: 10/10/2023		DATE: 10/10/2023	

Materials

- 01 Red brick (exterior)
- 02 Red brick (interior)
- 03 Grey brick (exterior)
- 04 Grey brick (interior)
- 05 Red brick (exterior) - patterned
- 06 Red brick (exterior) - patterned
- 07 Red brick (exterior) - patterned
- 08 Red brick (exterior) - patterned
- 09 Red brick (exterior) - patterned
- 10 Red brick (exterior) - patterned
- 11 Red brick (exterior) - patterned
- 12 Red brick (exterior) - patterned
- 13 Red brick (exterior) - patterned
- 14 Red brick (exterior) - patterned
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- 24 Red brick (exterior) - patterned
- 25 Red brick (exterior) - patterned
- 26 Red brick (exterior) - patterned
- 27 Red brick (exterior) - patterned
- 28 Red brick (exterior) - patterned
- 29 Red brick (exterior) - patterned
- 30 Red brick (exterior) - patterned



FOR DETERMINATION



DATUM +100.00

LYONS-SLEEMAN-HOARE Architects
Architects and Planners

FARNBOROUGH TOWN CENTRE BLOCK 3

Project No.	1006 / P-001 / P1	Date	2023-11-14
Client	Rushmoor Borough Council	Author	[Name]
Project Name	Farnborough Town Centre Block 3	Check	[Name]
Location	[Address]	Scale	[Scale]



Client
S. Moore

P1 PLANNING ISSUE

30/01/2019 JP GG



FOR ILLUSTRATIVE PURPOSES ONLY

LYONS+SLEEMAN+HOARE | Architects

New Direction, Critical Mass, Positive Witness, Harlequin Road BGA
 Tel: 01252 844144 Fax: 01252 844300 Web: www.lsharch.co.uk

Job No: 16066 / P1000	Rev: P1	Scale:	Issue: PLANNING	Date:
Checked: JJV	Author: JJV	Check: JT	Job: FARNBOROUGH TOWN CENTRE BLOCK 13	
Drawing: VIEW ACROSS KINGSMEAD ROAD AND SAINGSLEY'S CAR PARK			Drawing No: 16066-01-01	

NOTES: 01) All prices are approximate and have been measured and prepared in a manner authorised by the current edition of the RICS800 Code of Measuring Practice. Figures relate to the current stage of the project and any development variations in the future on the basis of the information should include any other areas. All drawings, plans and documents are subject to the usual conditions of sale. For further information, please contact the architect. 02) This drawing is to be used in conjunction with all other drawings and documents. 03) This drawing is to be used in conjunction with all other drawings and documents.



Sainsbury's

We are open
Mon - Fri 7am - 11pm
Sat 7am - 10pm
Sun 11am - 5pm

Pharmacy

Café

Clothing & Home

Click & Collect

Argos

Lloyds Pharmacy





Overton Road
Kingmoor
The Royal
Barnes Centre
8-10-11am







Client:
S Moberg

P1 PLANNING ISSUE 30/01/2019 JP GG

FOR ILLUSTRATIVE
PURPOSES ONLY

LYONS+SLEEMAN+HOARE | Architects

New Drawery, Critical Green, Hatfield Watbaw, Herts SG22 7GA
Tel: 01252 944144 Fax: 01252 944000 Web: www.lsharch.co.uk

Job No / Title	Rev	Status	Date	Author	Check	Job
16066 / P-900	01	PLANNING				DARINGBROUGH TOWN CENTRE BLOCKS
Date:	03	JPV				VIEW ACROSS KINGSMEAD ROAD AND SAINGSLEYS CAR PARK

NOT: All spaces are approximate and have been measured and assessed in a manner established by the current office of the ARCHITECTS. Changes in the current stage of the project may affect the accuracy of the information provided. The accuracy of the information provided is not guaranteed. The accuracy of the information provided is not guaranteed. The accuracy of the information provided is not guaranteed.

This drawing may be used in connection with the sale of the property for illustrative purposes only. It is not valid for any other purpose, and should not be used for any other purpose. It is not valid for any other purpose, and should not be used for any other purpose. It is not valid for any other purpose, and should not be used for any other purpose.

Development Management Committee

10th April 2019

Development Management Committee

Agenda Item No.4 : Enforcement

244 Pinewood Park, Farnborough



220

234

248

254

236

246



21/03/2019

Development Management Committee

10th April 2019